



PHAP15-00041

Date: November 2, 2015
Application Type: Certificate of Appropriateness
Property Owner: Trinity Trust
Representative: Greg and Melissa Kobe
Legal Description: Being 14 Manhattan Heights 43 to 47, City of El Paso, El Paso County, Texas
Historic District: Manhattan Heights
Location: 3101 Federal Avenue
Representative District: #2
Existing Zoning: R-3/H (Residential/Historic)
Year Built: 1922
Historic Status: Landmark
Request: Certificate of Appropriateness for the replacement of existing metal picket fence w/new iron fence mounted behind concrete base; removal of trees and replacement with shrubs; painting unpainted masonry including keystones, window sills, and bands; installation of new iron gate; installation of brick on stucco façade; installation of gravel in parkways; installation of planters; demolition of concrete driveways, porch and steps at entrance and construction of new concrete driveways, modified porch and steps
Application Filed: 10/19/2015
45 Day Expiration: 12/3/2015

ITEM #1



GENERAL INFORMATION:

The applicant seeks approval for:

Certificate of Appropriateness for the replacement of existing metal picket fence w/new iron fence mounted behind concrete base; removal of trees and replacement with shrubs; painting unpainted masonry including keystones, window sills, and bands; installation of new iron gate; installation of brick on stucco façade; installation of gravel in parkways; installation of planters; demolition of concrete driveways, porch and steps at entrance and construction of new concrete driveways, modified porch and steps

STAFF RECOMMENDATION:

The Historic Preservation Office recommends APPROVAL WITH MODIFICATIONS of the proposed scope of work based on the following recommendations:

The Design Guidelines for El Paso's Historic Districts, Sites, and Properties recommend the following:

- *Construction of new fences, stairs, or sidewalk rails and replacement of older existing fences is allowed on historic properties provided that the proposed site feature is of a compatible material and scale*
- *The height of the proposed fence should complement the structure (primarily as viewed from the street) and should not obstruct the public's view of the building.*
- *Retain fences and walls that contribute to the historic character of the property and the district where possible. If replacement is necessary, replace only the deteriorated element to match the original in dimension, proportion, material, texture, and detail.*
- *Retain mature trees that contribute to the character of the historic district.*
- *Replace mature trees with similar canopy and in the same location when they are damaged or diseased. When the same site location is not practical, select a location for replacement trees that will enhance the appearance and character of the historic streetscape or provide shade.*
- *Grass and sod may be removed from parkways provided not more than 50% of the area is covered with gravel or other masonry that is made of impervious materials (brick pavers, gravel, and masonry pavers). The remaining 50% must be covered with trees and living plants that provide ground cover.*
- *Painting or applying coatings such as cement or stucco to exposed masonry/stone is not appropriate, because it will change the historic appearance of the masonry/stone feature, and can accelerate deterioration. Previously painted surfaces that were painted prior to designation or with a permit may remain painted.*
- *It is not appropriate to paint brick, stone, copper, bronze, concrete, or cement block surfaces that were historically unpainted.*
- *If it is necessary to replace masonry, always use materials that match the color, size and texture of the masonry being replaced.*
- *A porch and all of its architectural elements should be maintained and repaired. If elements must be replaced, materials should match the original construction. Designs should be innovative and compatible with the building and/or the surrounding area.*

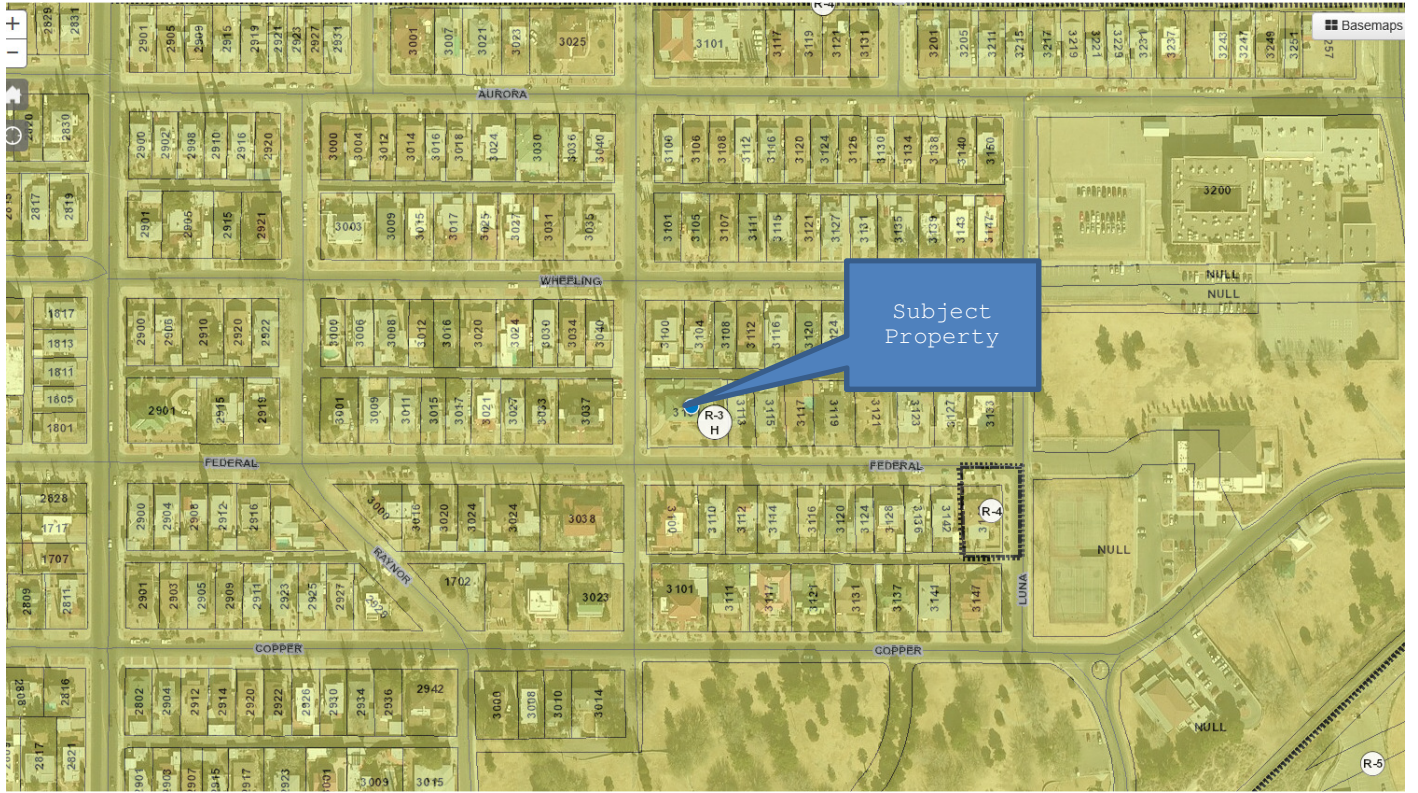
The Secretary of the Interior's Standards for Rehabilitation recommend the following:

- *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property.*
- *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

- *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
- *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The modifications are that the unpainted masonry remain unpainted; that the parkways be planted with shrubs or trees to meet the requirement that 50% must be covered with trees and living plants that provide ground cover; that the planters be removed from the design and that the length of the new porch be extended so that it ends at the end of the second bay of windows on either side of the entrance; and that the stucco wall on the eastern-most portion of the house not be covered with brick.

AERIAL MAP



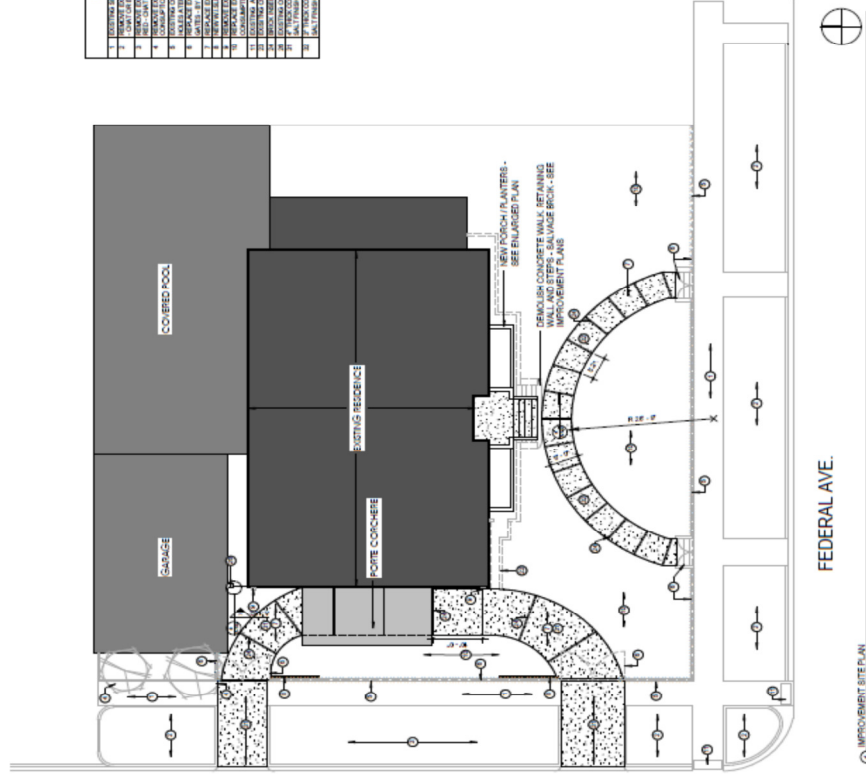
3101 FEDERAL AVE - SITE RENOVATION

for:
MELISSA KOBE
El Paso, Texas

DATE: OCTOBER 14, 2015

SHEET INDEX	
ARCHITECTURE	
A-G-000	IMPROVEMENT SITE PLAN
A-101	DEMOLITION / IMPROVEMENT / EXTERIOR ELEVATION PLAN
A-102	SECTION AND DETAILS

SCOPE OF WORK	
SITE WORK: DEMOLITION FOR RESIDENCE AT 3101 FEDERAL AVE, INCLUDING REPLACING EXISTING GATES AND FENCE, PAINTING ALL EXISTING STRUCTURES, CONCRETE CURBS AND BANDS, REMOVING OF EXISTING TREES AND REPLACING THEM WITH NEW TREES, CONSTRUCTION OF EXISTING PORCH AND CONCRETE STEPS WILL BE REMOVE AND REPLACE IN ORDER FOR CODE COMPLIANCE	
INTERIOR	
NO IMPROVEMENT WORK INVOLVED	



① IMPROVEMENT SITE PLAN
3/32" = 1'-0"

FEDERAL AVE.



in*situ
ARCHITECTURE

In*Situ Architecture
1611 Riverside, El Paso, TX 79902
915.227.2040

in*situ
ARCHITECTURE

3101 FEDERAL AVE - SITE RENOVATION
MELISSA KOBE
El Paso, Texas

G-000

SITE PLAN

PROPOSED PLANS AND ELEVATIONS

in*situ
ARCHITECTURE

3101 FEDERAL AVE - SITE RENOVATION



3101 FEDERAL AVE - SITE
RENOVATION

MELISSA KORB

2/28/2020

3101 FEDERAL AVE - SITE RENOVATION

PROJECT NOTES:
1. SEE ALL NOTES ON ALL SHEETS.
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3. SEE ALL NOTES ON ALL SHEETS.
4. SEE ALL NOTES ON ALL SHEETS.
5. SEE ALL NOTES ON ALL SHEETS.

DEMOLITION AND
IMPROVEMENT PLANS
AND ELEVATIONS

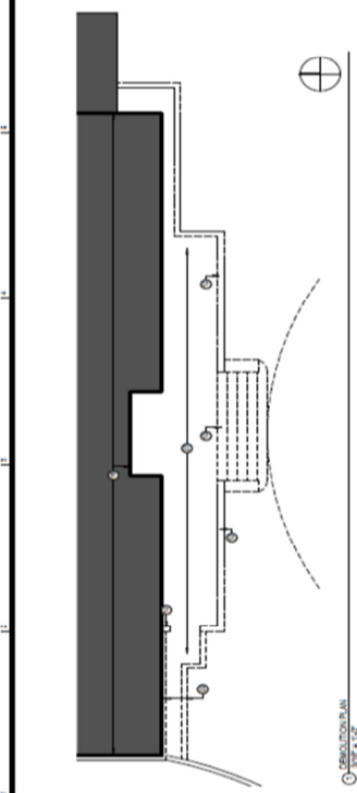
A-101

GENERAL NOTES

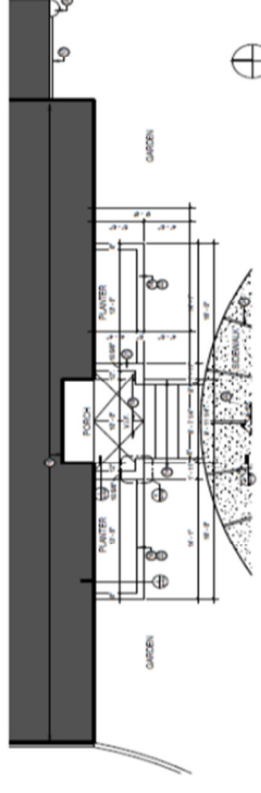
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REVISIONS

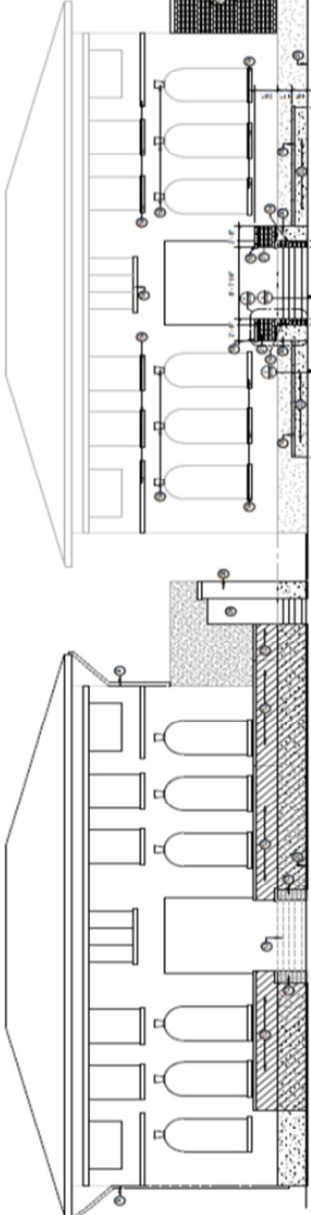
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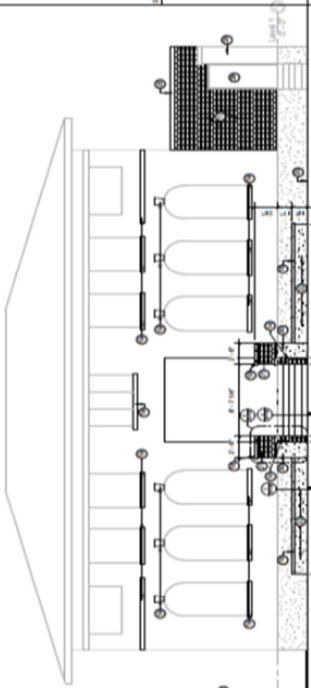
1. DEMOLITION PLAN
3/8" = 1'-0"



2. IMPROVEMENT PLAN
3/8" = 1'-0"



3. DEMOLITION ELEVATION
3/8" = 1'-0"



4. IMPROVEMENT ELEVATION
3/8" = 1'-0"

PROPOSED ELEVATIONS AND SECTIONS

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ARCHITECTURE

1218 N. 16th Avenue | Suite 410 | Phoenix, AZ 85016
P: 602.491.1222
WWW.IN-SITUARCHITECT.COM



**3101 FEDERAL AVE - SITE
RENOVATION**

MELISSA KOBE

27th June, 2020

REVISIONS

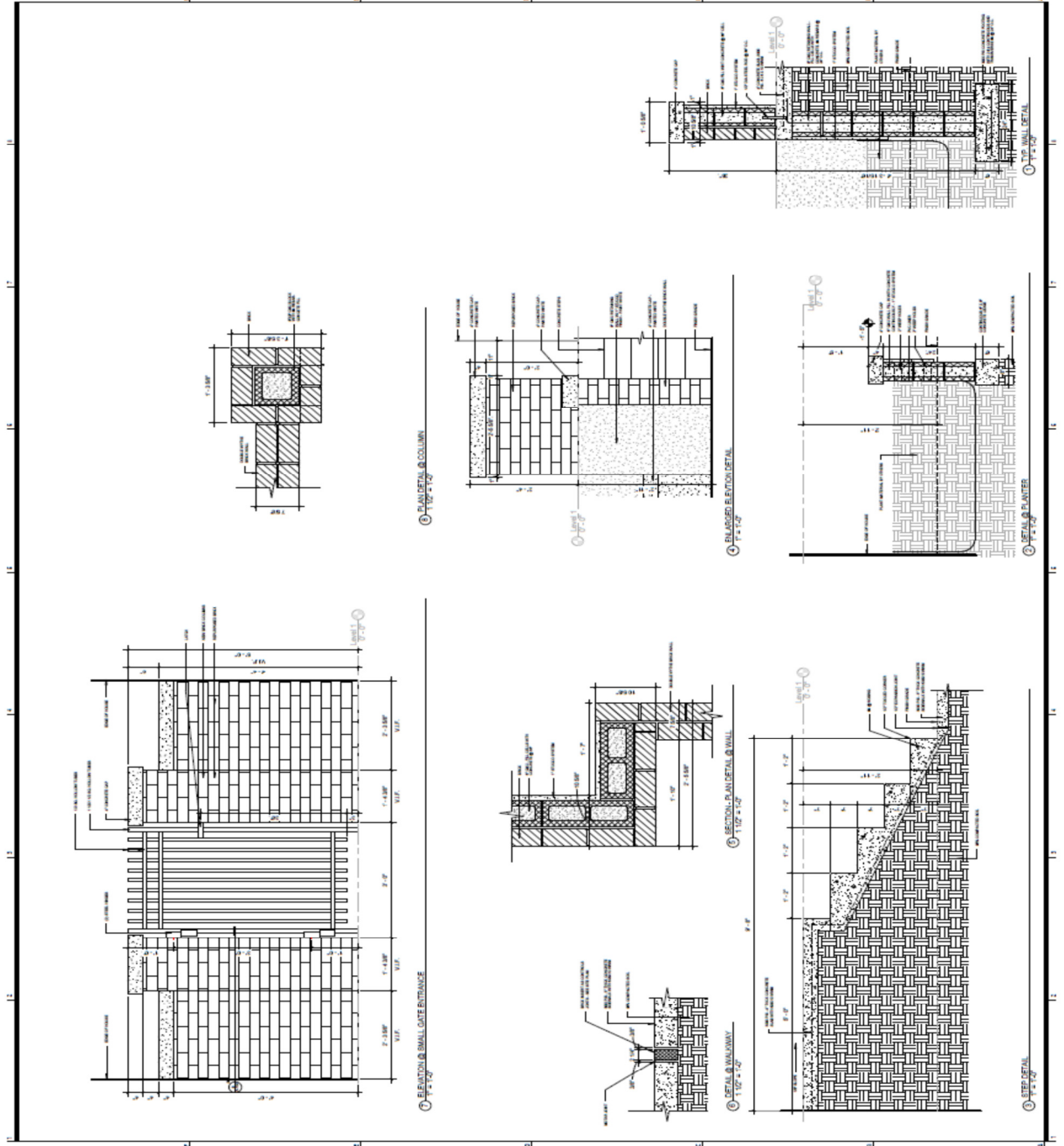
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PROJECT NO: 2020-01
DATE: 27th June, 2020
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CHECKED BY: MELISSA KOBE

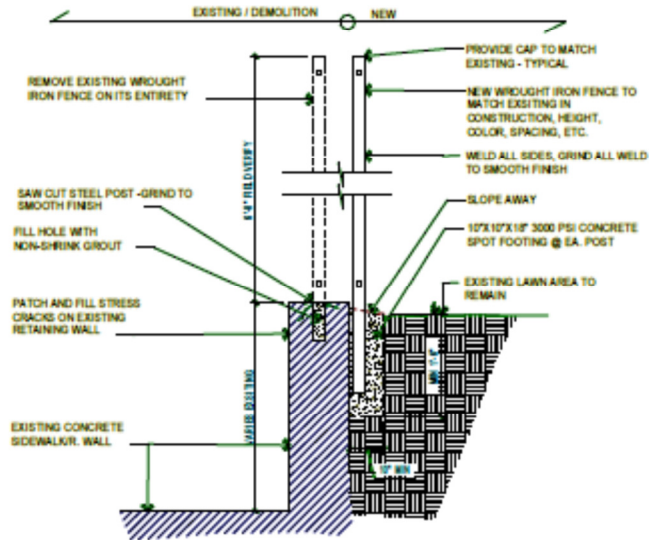
SECTION AND DETAILS

A-102

27th June, 2020



FENCE DETAIL



⑤ WROUGHT IRON FENCE DETAIL
3/4" = 1'-0"